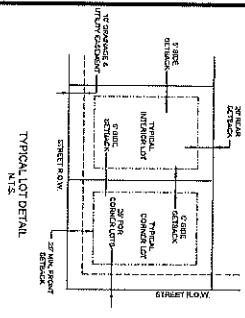
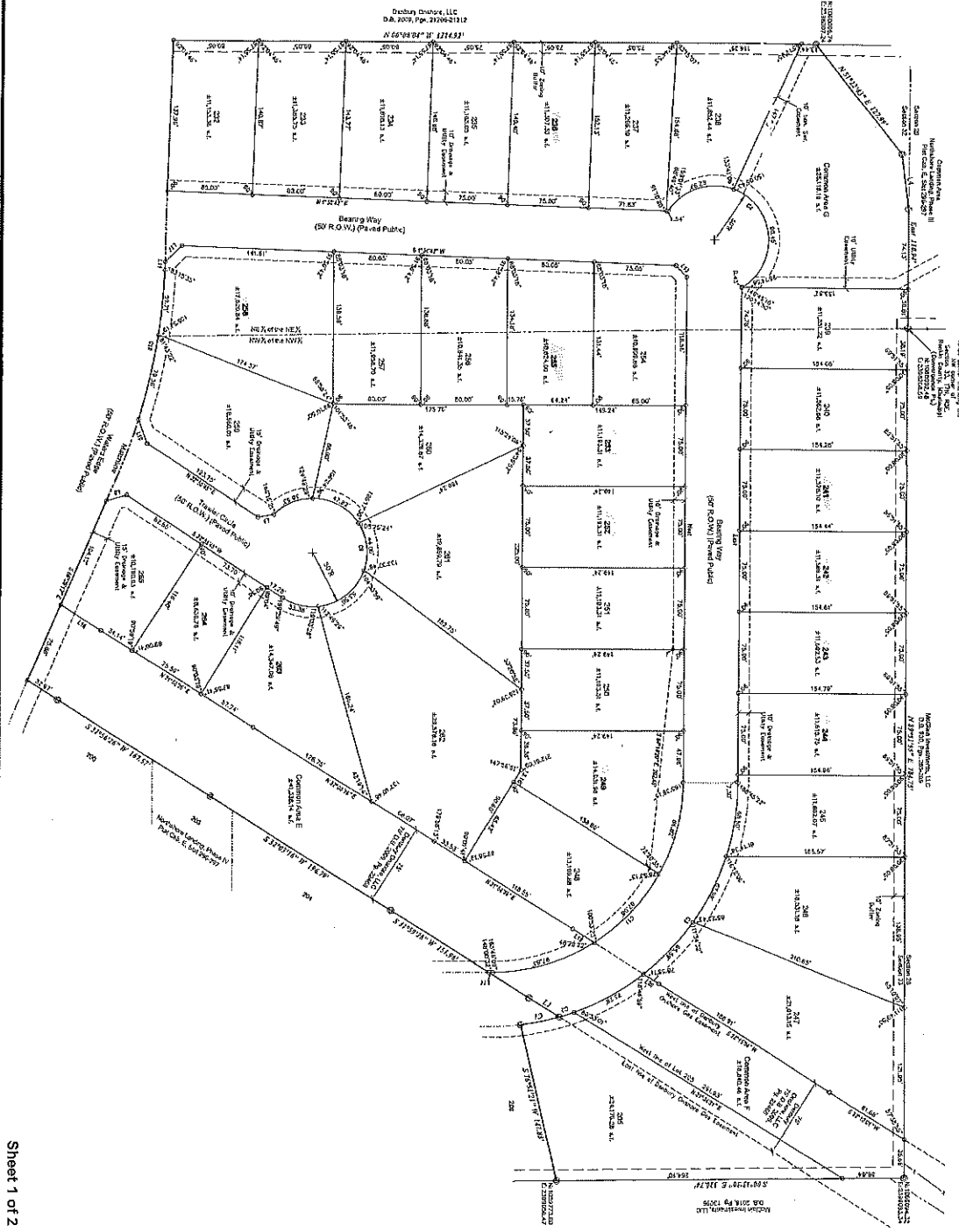




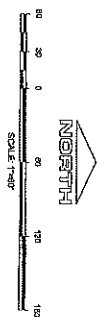
- ORIGINAL NOTES:**
- ALL LOTS IN THIS SUBDIVISION ARE LOCATED IN A 100' ZONE OF 100' SHARED FRONT YARD SETBACK TO BE MAINTAINED BY THE HOMEOWNER. COMMUNITY DEVELOPMENT HAS REVIEWED THIS PLAN AND HAS DETERMINED THAT THE PROPOSED LOTS ARE COMPLIANT WITH THE 100' ZONE REQUIREMENTS. THE HOMEOWNER SHALL MAINTAIN THE 100' FRONT YARD SETBACK AT ALL TIMES.
  - THIS DRAWING IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION. THE HOMEOWNER SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND THE STATE OF MISSISSIPPI.
  - THE HOMEOWNER SHALL MAINTAIN THE 100' FRONT YARD SETBACK AT ALL TIMES. THE HOMEOWNER SHALL MAINTAIN THE 100' FRONT YARD SETBACK AT ALL TIMES.
  - ALL MEASUREMENTS OF DISTANCES ARE GIVEN IN FEET AND INCHES. ALL MEASUREMENTS OF DISTANCES ARE GIVEN IN FEET AND INCHES.
  - FIELD SURVEY COMPLETED OCTOBER 14, 2022.



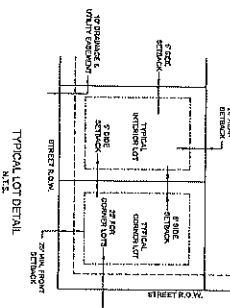
Lot No.	Area (sq. ft.)	Area (sq. ft.)	Area (sq. ft.)
1	1,200	1,200	1,200
2	1,200	1,200	1,200
3	1,200	1,200	1,200
4	1,200	1,200	1,200
5	1,200	1,200	1,200
6	1,200	1,200	1,200
7	1,200	1,200	1,200
8	1,200	1,200	1,200
9	1,200	1,200	1,200
10	1,200	1,200	1,200
11	1,200	1,200	1,200
12	1,200	1,200	1,200
13	1,200	1,200	1,200
14	1,200	1,200	1,200
15	1,200	1,200	1,200
16	1,200	1,200	1,200
17	1,200	1,200	1,200
18	1,200	1,200	1,200
19	1,200	1,200	1,200
20	1,200	1,200	1,200
21	1,200	1,200	1,200
22	1,200	1,200	1,200
23	1,200	1,200	1,200
24	1,200	1,200	1,200
25	1,200	1,200	1,200
26	1,200	1,200	1,200
27	1,200	1,200	1,200
28	1,200	1,200	1,200
29	1,200	1,200	1,200
30	1,200	1,200	1,200
31	1,200	1,200	1,200
32	1,200	1,200	1,200
33	1,200	1,200	1,200
34	1,200	1,200	1,200
35	1,200	1,200	1,200
36	1,200	1,200	1,200
37	1,200	1,200	1,200
38	1,200	1,200	1,200
39	1,200	1,200	1,200
40	1,200	1,200	1,200
41	1,200	1,200	1,200
42	1,200	1,200	1,200
43	1,200	1,200	1,200
44	1,200	1,200	1,200
45	1,200	1,200	1,200
46	1,200	1,200	1,200
47	1,200	1,200	1,200
48	1,200	1,200	1,200
49	1,200	1,200	1,200
50	1,200	1,200	1,200
51	1,200	1,200	1,200
52	1,200	1,200	1,200
53	1,200	1,200	1,200
54	1,200	1,200	1,200
55	1,200	1,200	1,200
56	1,200	1,200	1,200
57	1,200	1,200	1,200
58	1,200	1,200	1,200
59	1,200	1,200	1,200
60	1,200	1,200	1,200
61	1,200	1,200	1,200
62	1,200	1,200	1,200
63	1,200	1,200	1,200
64	1,200	1,200	1,200
65	1,200	1,200	1,200
66	1,200	1,200	1,200
67	1,200	1,200	1,200
68	1,200	1,200	1,200
69	1,200	1,200	1,200
70	1,200	1,200	1,200
71	1,200	1,200	1,200
72	1,200	1,200	1,200
73	1,200	1,200	1,200
74	1,200	1,200	1,200
75	1,200	1,200	1,200
76	1,200	1,200	1,200
77	1,200	1,200	1,200
78	1,200	1,200	1,200
79	1,200	1,200	1,200
80	1,200	1,200	1,200
81	1,200	1,200	1,200
82	1,200	1,200	1,200
83	1,200	1,200	1,200
84	1,200	1,200	1,200
85	1,200	1,200	1,200
86	1,200	1,200	1,200
87	1,200	1,200	1,200
88	1,200	1,200	1,200
89	1,200	1,200	1,200
90	1,200	1,200	1,200
91	1,200	1,200	1,200
92	1,200	1,200	1,200
93	1,200	1,200	1,200
94	1,200	1,200	1,200
95	1,200	1,200	1,200
96	1,200	1,200	1,200
97	1,200	1,200	1,200
98	1,200	1,200	1,200
99	1,200	1,200	1,200
100	1,200	1,200	1,200



PLAT CABINET \_\_\_\_\_, SLOT \_\_\_\_\_

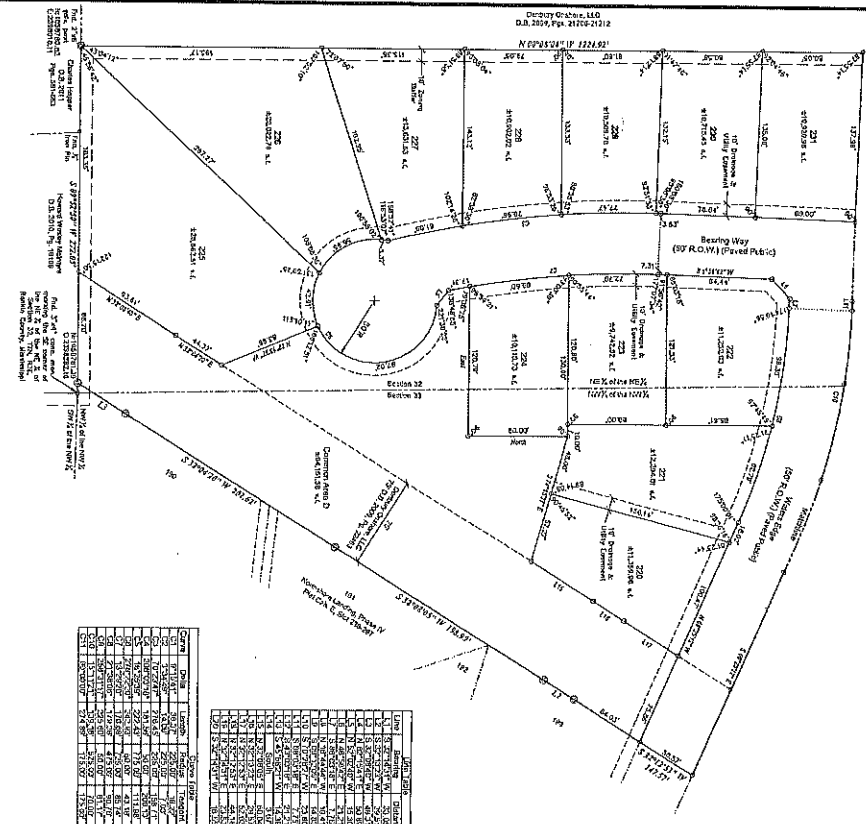


- GENERAL NOTES:**
1. ALL LOTS IN THIS SUBDIVISION ARE LOCATED IN A 200' BOUNDARY LINE. THE 200' BOUNDARY LINE IS SHOWN BY A DASHED LINE WITH THE WORDS "200' BOUNDARY LINE" WRITTEN ALONG IT. THE 200' BOUNDARY LINE IS THE PROPERTY OF THE STATE OF MISSISSIPPI AND IS NOT TO BE DISTURBED.
  2. THE SURVEY SHOWS THE EXISTING CURVES OF THE 200' BOUNDARY LINE AND THE 200' BOUNDARY LINE IS THE PROPERTY OF THE STATE OF MISSISSIPPI AND IS NOT TO BE DISTURBED.
  3. EXISTING CURVES ARE SHOWN BY A DASHED LINE WITH THE WORDS "EXISTING CURVES" WRITTEN ALONG IT. THE EXISTING CURVES ARE THE PROPERTY OF THE STATE OF MISSISSIPPI AND IS NOT TO BE DISTURBED.
  4. ALL MEASUREMENTS OF CURVES ARE GIVEN IN FEET AND INCHES.
  5. 1" = 60' CURVES ARE SHOWN BY A DASHED LINE WITH THE WORDS "1" = 60' CURVES" WRITTEN ALONG IT.
  6. 1" = 60' CURVES ARE SHOWN BY A DASHED LINE WITH THE WORDS "1" = 60' CURVES" WRITTEN ALONG IT.



# NORTHSHORE LANDING, PHASE V

Shaded in the NE 1/4 of the NE 1/4 of Section 32 and the NW 1/4 of the NW 1/4 of Section 33, T1N, R2E, Rankin County, Mississippi



LOT	AREA	PERCENT	ACRES
221	1.0000	100.00	0.0230
222	1.0000	100.00	0.0230
223	1.0000	100.00	0.0230
224	1.0000	100.00	0.0230
225	1.0000	100.00	0.0230
226	1.0000	100.00	0.0230
227	1.0000	100.00	0.0230
228	1.0000	100.00	0.0230
TOTAL	8.0000	800.00	0.1840



**PLANS AND RECONSTRUCTION - COUNTY OF RANKIN - STATE OF MISSISSIPPI**

I, James H. Smith, Civil Engineer, Rankin County, Mississippi, do hereby certify that the above described plans and reconstructions were prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer in the State of Mississippi, License No. 2715, and that I am a resident of Rankin County, Mississippi.

**WITNESSED MY HAND AND SEAL OF OFFICE ON THIS** 15th **DAY OF** April **2022.**

James H. Smith  
Civil Engineer  
Rankin County, MS

**APPROVAL OF THE BOARD OF SURVEYORS - COUNTY OF RANKIN - STATE OF MISSISSIPPI**

The above plat of subdivision, location, space, lot lines, and other data thereon, as shown on the attached plans, was presented to a meeting of the Board of Surveyors of Rankin County, Mississippi, on this 15th day of April, 2022, and the Board of Surveyors of Rankin County, Mississippi, do hereby approve the same and certify that the same conform to the laws of the State of Mississippi.

**WITNESSED MY HAND AND SEAL OF OFFICE ON THIS** 15th **DAY OF** April **2022.**

Board of Surveyors  
Rankin County, MS

**BENCHMARK**  
ENGINEERING & SURVEYING, LLC

1710 Highway 60 East, Suite 202  
Birmingham, MS 38202  
205-988-1817  
www.benchmarkms.com

**SUBDIVISION CERTIFICATE - COUNTY OF RANKIN - STATE OF MISSISSIPPI**

I, James H. Smith, Civil Engineer, Rankin County, Mississippi, do hereby certify that the above described plans and reconstructions were prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer in the State of Mississippi, License No. 2715, and that I am a resident of Rankin County, Mississippi.

**WITNESSED MY HAND AND SEAL OF OFFICE ON THIS** 15th **DAY OF** April **2022.**

James H. Smith  
Civil Engineer  
Rankin County, MS

**CERTIFICATE OF OWNERSHIP - COUNTY OF RANKIN - STATE OF MISSISSIPPI**

Notarizing, LLC, the undersigned owner, do hereby certify that the above described plans and reconstructions were prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer in the State of Mississippi, License No. 2715, and that I am a resident of Rankin County, Mississippi.

**WITNESSED MY HAND AND SEAL OF OFFICE ON THIS** 15th **DAY OF** April **2022.**

Notarizing, LLC  
Civil Engineer  
Rankin County, MS

**ADDITIONAL CERTIFICATE - COUNTY OF RANKIN - STATE OF MISSISSIPPI**

PROFESSIONAL LAND SURVEYOR, I, James H. Smith, do hereby certify that the above described plans and reconstructions were prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer in the State of Mississippi, License No. 2715, and that I am a resident of Rankin County, Mississippi.

**WITNESSED MY HAND AND SEAL OF OFFICE ON THIS** 15th **DAY OF** April **2022.**

James H. Smith  
Civil Engineer  
Rankin County, MS

